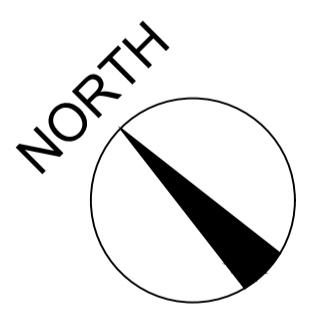


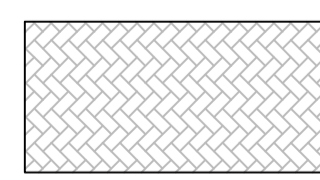
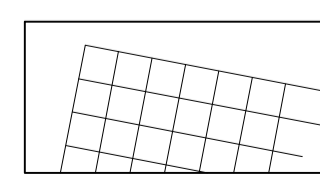
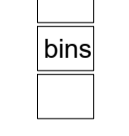

SCHEDULE OF ACCOMMODATION

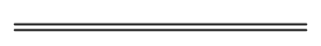

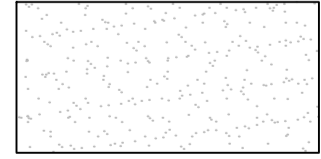
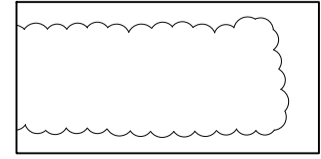
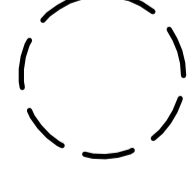
PLOT 1
Existing Bungalow
Outbuildings replaced by new garage/cycle store
and 1 further parking space

PLOT 2 & 3
4 Bedroom 2 Bathroom detached house
@ 112 m² (1200 sq.ft) + garage/cycle store
and 2 further parking spaces





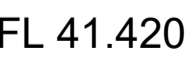
KEY

-  Concrete block permeable paving Marshall Piora colour Bracken Aco type drain at junction with Macadam highway verge. No-dig construction to plot 1 & 2 bays as Arboricultural Report.
-  Concrete pavers to patios and paths
-  Space for 3no. 140 litre wheelie refuse and recycling bins 1850 x 750 overall. Collection points at driveway entrances.
-  * Cycle Storage - 2 security posts in each garage. To plots 1-3 provide also 1no. security post property for visitors

-  Fences
To adjoining properties (except as noted on plan) and rear gardens - 1800mm high close boarded timber fences between concrete posts with concrete gravel boards to BS BS1722.
-  Gates (850mm clear opening) 1.8m high timber framed, ledged and braced, made from 125mm x 38mm seasoned p.a.r treated softwood. Gates are to be fitted with heavy duty rim deadlock or mortice lock to allow key pass from outside. Gate to be fixed on suitable heavy duty hinges.
-  Resin bonded gravel - Daltex Autumn Quartz 2-5mm
-  Shrubs and ground cover.
Planting to south boundary adjoining no.37 and forward of visitor space to be ground cover below 600mm high.
-  Buildings to be demolished

Note:
For all site drainage and site levels please refer to engineers drawings.

External lighting scheme to be provided by lighting consultant. If lighting powered by landlords meter, location to be agreed.

-  G.M Gas meter location
-  E.M Electric meter location
-  FFL 41.420 New plot FFL. to be confirmed with Civil engineers.

BUILDING REGS SUBMISSION

Rev.	Date	Description	Drawn
A	21/12/18	Extension to bungalow added.	DAT

Client: INNSWOOD HOMES LTD

Project: PROPOSED RESIDENTIAL DEVELOPMENT 35 LUTON ROAD WILSTEAD BEDFORD MK45 3ER

Drawing Title

SITE LAYOUT & EXTERNAL WORKS	
Scale: 1:100@A1	Job No: 2740
Date: OCT 2018	Drawing No: 200
Drawn: DAT	Revision: A