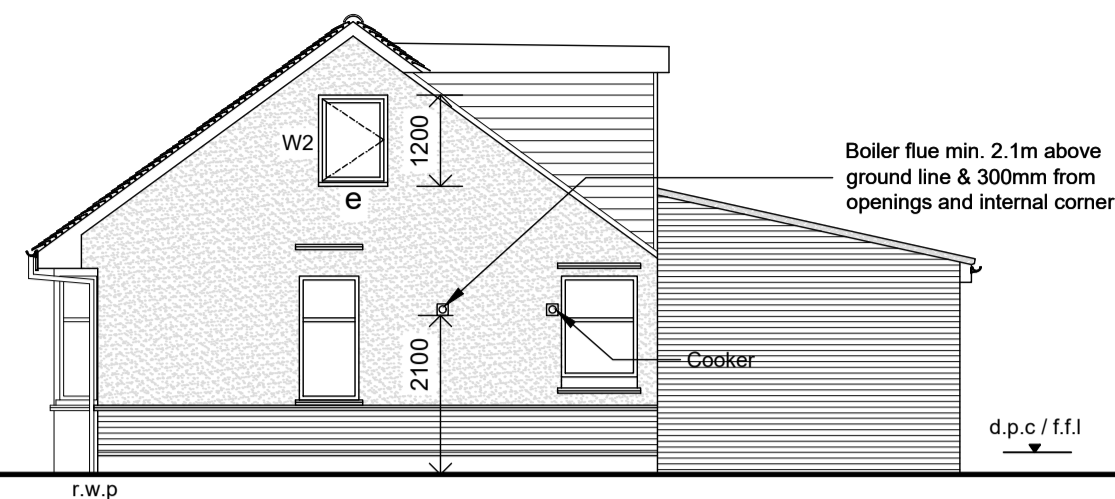
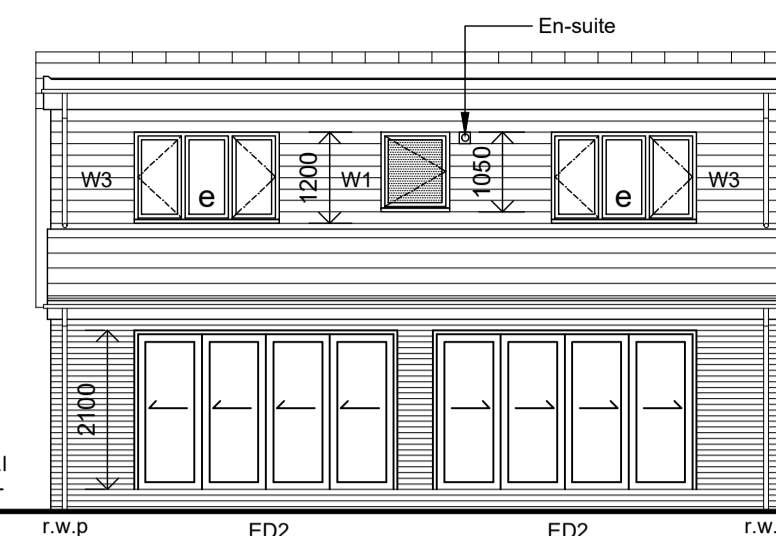


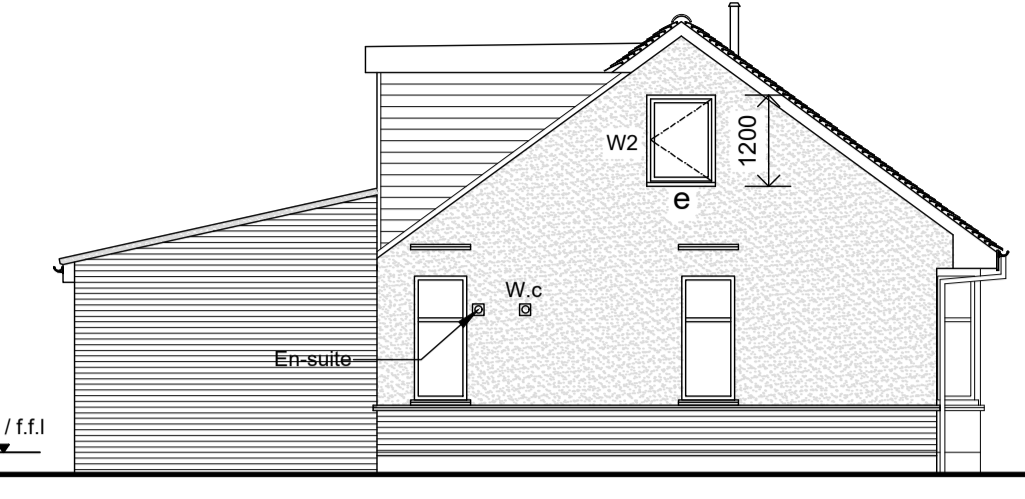
FRONT ELEVATION 1:100



SIDE ELEVATION



REAR ELEVATION



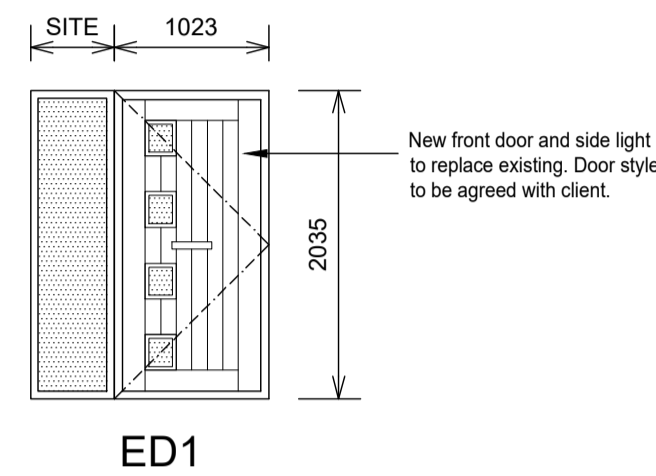
SIDE ELEVATION

Material Schedule

Facing Bricks - TBC - Colour to match existing
 Replacement render - Parex Monorex GF Render in G20 off white
 Roof Tiles Main - Re use existing
 Roof Tiles Rear - Forticrete Centurion
 Fascias - UPVC - Colour White
 Soffits - UPVC - Colour White
 Windows - UPVC - Colour White
 Front Doors - IG Weatherbeater XNG04 fibre colour. - Colour TBC
 Guttering - UPVC - Colour Black
 Downpipes - UPVC - Colour Black

KEY (Elevations)

☒ Mechanical extract fan wall / Boiler flue
 S.V.P to terminate min. 900mm above any opening.
 Obscured glass
 e Egress window



EXISTING SERVICES:
 Alterations will be necessary to some of the existing services; locations are to be confirmed upon site. Electrical points, lighting, hot and cold water pipe work and extractor ventilation will require repositioning. Where this occurs the surrounding walls, floors and ceilings are to be made good.

All service providers for: Electricity, Gas, Water and telecommunications are to be contacted prior to work commencing on site. This is to attain a layout/diagram to establish the location for the existing pipework/ducting within the curtilage of the property. Remedial work may be necessary to relocate external pipework & ducting.

ALTERATIONS TO EXISTING:
 Where the alterations and extension effects the existing ie: When a wall, floor, roof, ceiling, or services are removed this should be made good and redecorated to match existing or as specified by client. Adequate propping or shoring must be used to prevent movement and collapse to any wall or structure, load bearing or otherwise.

FLOOR TO CEILING HEIGHTS AND SITE DIMENSIONS:
 Where stated upon the drawings the floor to ceiling heights and any note stating site dimension should be checked upon site prior to work commencing. Any discrepancy is to be highlighted with the Architect. Common sense should be used with regards this.

TILING / PANELLING
 All wall tiles are to be fixed using waterproof adhesive and grout

USE OF PLASTERBOARD
 Moisture resistant plasterboard to be used in all wet areas unless stated otherwise - Aquapanel is to be used instead of plasterboard around shower area - to walls which are in close proximity to water and are prone to water spray.

SANITARY FITTINGS
 All sanitary fittings are to be supplied by Ideal Standard or Twyford, range to be agreed with the Client. Fittings to be installed with the following to reduce water use. Low volume push button pneumatic dual flush WC cisterns. Flow restrictors to WHBs.

EXPOSED PIPEWORK:
 All exposed pipe work is to be painted unless if stainless steel - waste pipes, tubing, couplings, elbows, tees and fixing clips are requested by client.

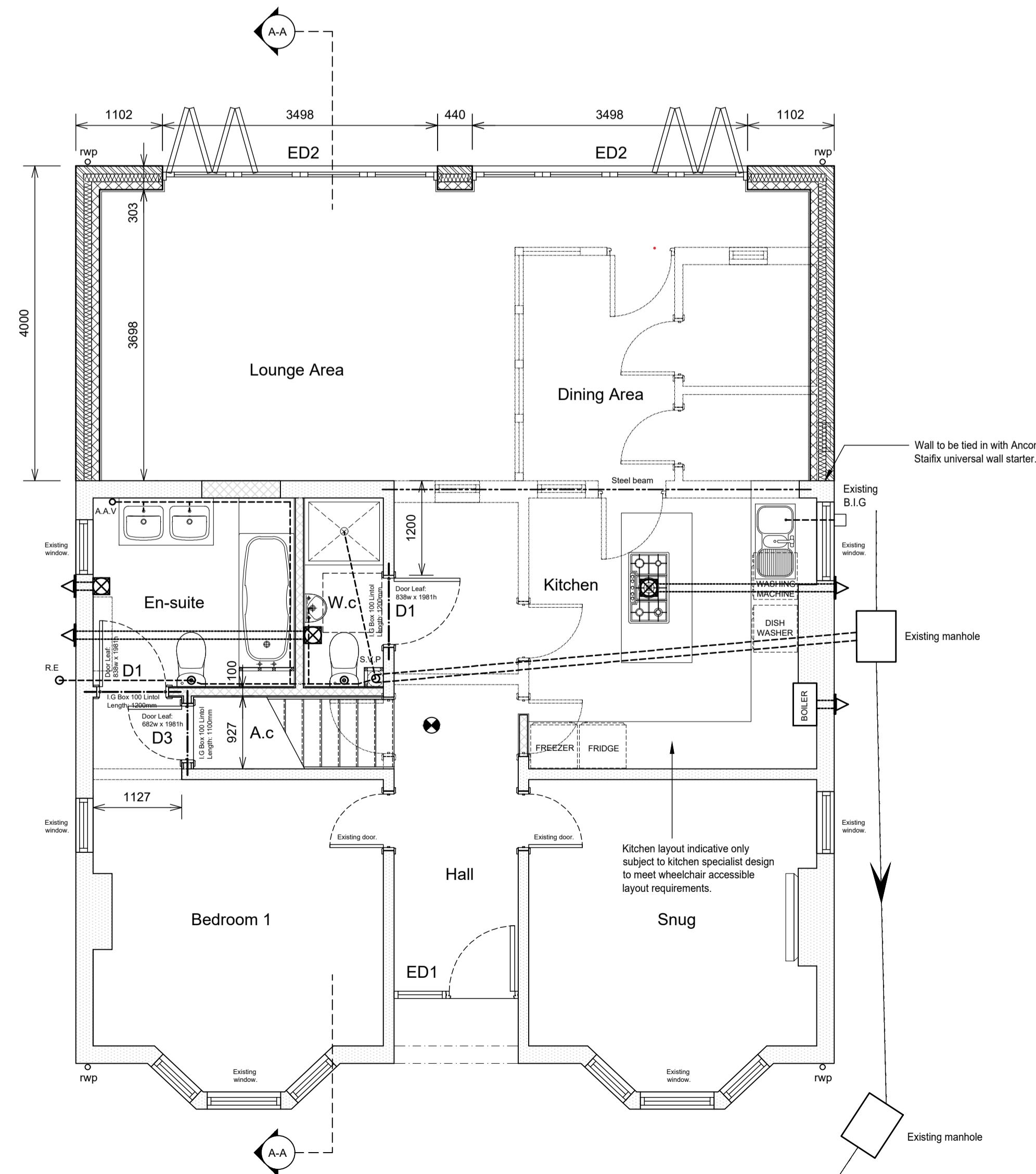
FITTINGS
 Skirting - To match existing
 Architraves - To match existing
 Window boards - 25/32mm thick bullnose, size to suit window width and depth.

FLOOR COVERING
 TBC

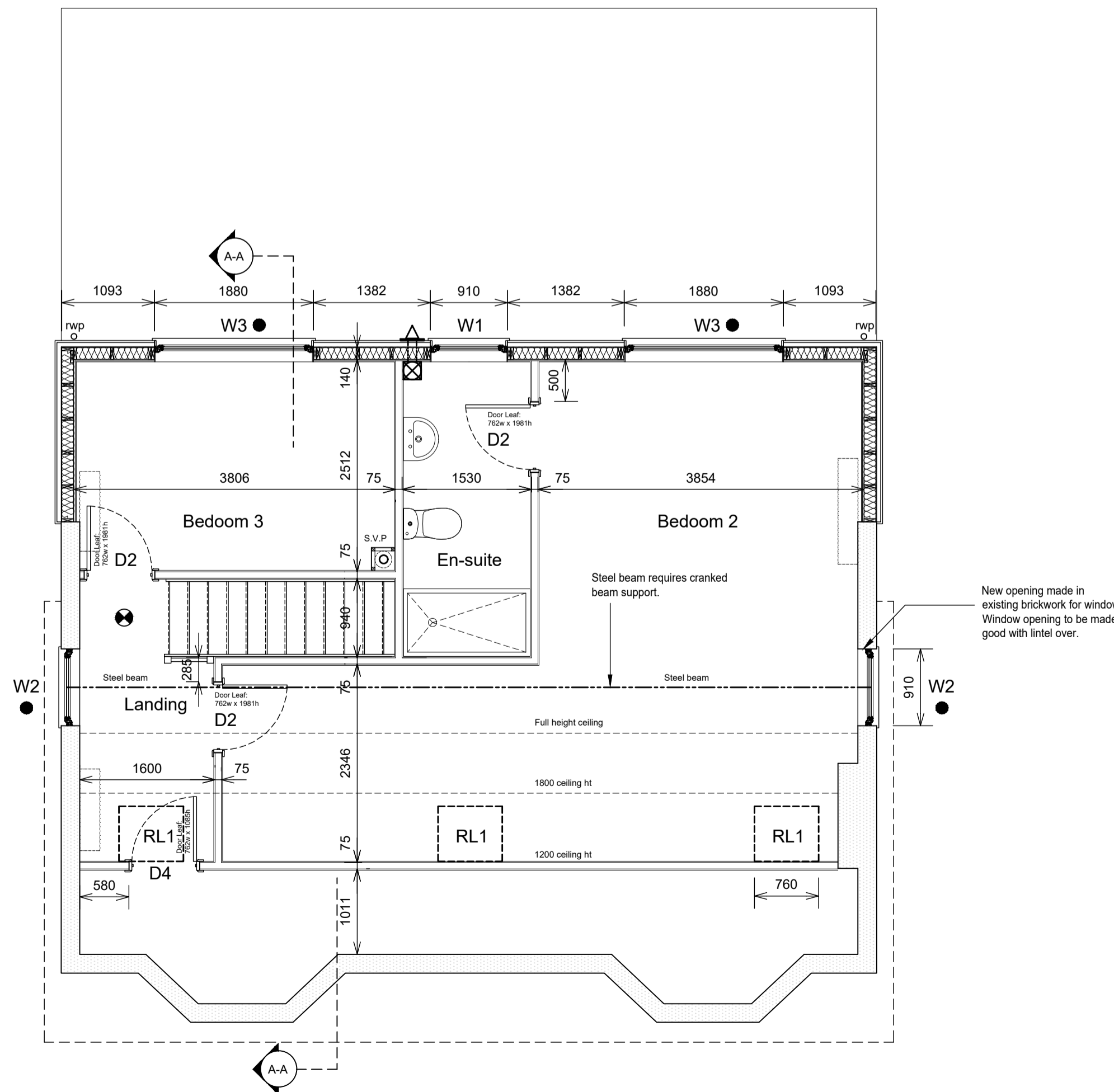
INTERNAL DECORATION:
 Woodwork - Prime, knot, stop all round prior to fixing and paint 2 undercoats, 1 coat gloss white paint.
 Doors - All doors are supplied untreated and to be finished with oil or wax finish to client's requirements. Ironmongery to client's requirements.
 Walls and ceilings - 1 mist and 2 full coats vinyl matt emulsion paint Vinyl Silk to Kitchen and WCs. Ceilings to be Dulux brilliant white, Walls to be Dulux Colour TBC.

NOTES

- All dimensions to structural face of wall.
- Refer to Engineers notes for lintel schedules
- Refer to Engineers drawings for positions of movement joints (M.J) in brickwork



GROUND FLOOR PLAN



FIRST FLOOR PLAN

KEY (Floor plans)

- Existing walls / windows to be removed. All walls to be made good. If walls are load bearing then support of existing floor joists will need to be reviewed.
- Existing walls to remain. All walls to be made good. If walls are load bearing then support for new floor joists will need to be reviewed. Walls to be re-skimmed internally.
- 100mm block work with wet plaster & skim coat finish to align with existing walls.
- 75mm timber studs fully sound insulated with an absorbent layer of unfaced mineral wool bats or quilt (Min. thk. 25mm, min. density 10kg/m³) 12.5mm moisture resistant board density 10kg/m². Skim finish. 18mm ply to be fixed to studs on en-suite side to allow for fixings.
- 103mm facing brickwork with 100mm cavity - filled with 100mm Superglass Superwall 32 cavity wall bats with 100mm Celcon Standard Grade with 12.5mm plasterboard on dabs with 3mm multi-finish skim
- Thermwood VT2562 cladding on Min. 50 x 50mm treated vertical battens at each timber frame vertical stud location. TF200 Thermo Reflective Breather Membrane on 9mm OSB (Sterling Board) on 140mm vertical studs - cavity filled with 140mm Superglass Superwall 32 cavity wall bats, with Vapour Control Layer - 500 Gauge (125 Mu) with 18mm thk plyboard with 12.5mm plasterboard and skim. overall wall U-value of 0.?? W/m²K.
- Denotes mains operated, interlinked smoke detector. Locate a minimum 300mm from any wall
- Boiler position with flue through adjacent external wall. Make sure that all boiler flue outlet positions are a min. 2.1m above adjacent ground level
- Cooker Hood M/E fan to be 30L/sec. via extract hood Bathroom / Ensuite M/E fan to be 15L/sec. Extract from vent to proprietary wall / roof tile.
- Background ventilation Each window & door over 900mm wide to be provided with a min. 8000mm² & each rooflight with 2600mm²
- Windows:
 Denotes escape windows, which are to have an unobstructed openable area of 0.33m² and be at least 450mm high and 450mm wide. The bottom of the openable area should not be more than 1100mm above the floor.
- SVP:
 Ducts to be fully insulated with 25mm mineral wool (min. 10kg/m³). Pipe to be boxed in with 2 layers of gypsum-based board, nominal 8kg/m² each layer. S.V.P to terminate at a Proprietary roof vent tile.

BUILDING REGS SUBMISSION

B	09/03/20	Rear extension increased to 4 metres deep. Flat roof to rear extension revised to pitched roof. Existing chimney removed from existing building.	DAT
A	02/01/19	W.c added. En-suite reduced in size.	DAT

Rev. Date Description

Client: **INNSWOOD HOMES LTD**

Project: **PROPOSED RESIDENTIAL DEVELOPMENT 35 LUTON ROAD WILSTEAD BEDFORD MK45 3ER**

Drawing Title: **BUILDING PLANS & ELEVATIONS**

Scale: 1:100	Job No: 2740
1:50@A1	
Date: DEC 2018	Drawing No: 300
Drawn: DAT	Revision: B

Sherwood ARCHITECTS

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